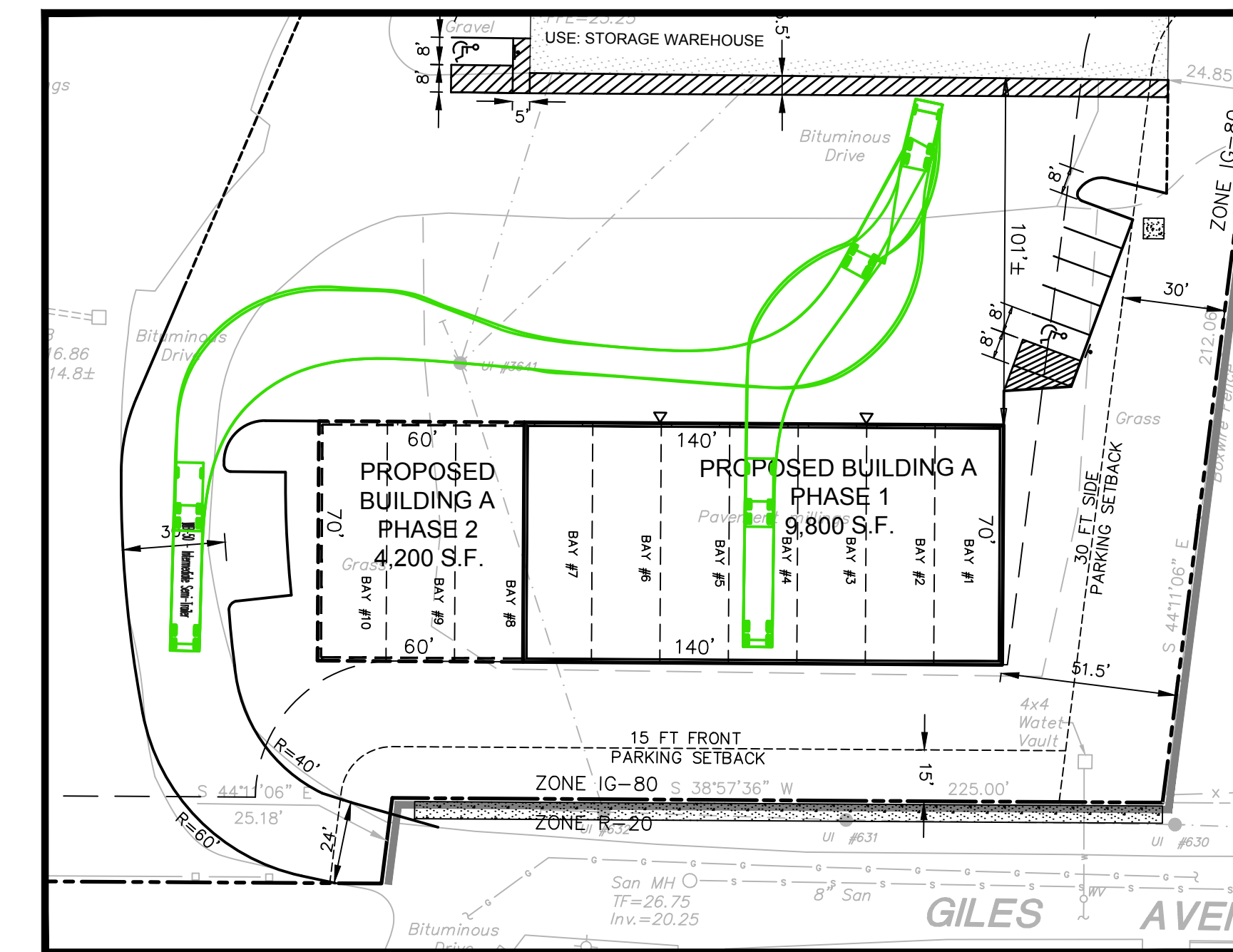


**SITE PLAN NOTES**

- ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL; TOWN OF NORTH HAVEN, AND CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- REFER TO OTHER PLANS, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING ENTITLED "EXISTING CONDITIONS PROPERTY LOCATED AT #48 GILES AVENUE, NORTH HAVEN, CONNECTICUT, PREPARED FOR LOCUST REALTY ASSOCIATES, LLC, PROPERTY MAP, PLAN 1 OF 1, DATED 8/04/06, SCALE 1"=40", PREPARED BY CRISCUOLO ENGINEERING, LLC."
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "1-800-922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
- THERE ARE NO WETLANDS LOCATED ON THE SITE AS INDICATED BY THE EXISTING CONDITIONS MAPPING PREPARED BY CRISCUOLO ENGINEERING LLC.



**ZONING INFORMATION**

LOCATION: NORTH HAVEN, CONNECTICUT  
 ZONE: IG-80  
 USE: GARAGE

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	80,000 S.F.	235,555.53 S.F. 5.41 ACRES	NO
2	MINIMUM LOT WIDTH	200 FEET	760 FEET±	NO
3	MINIMUM LOT DEPTH	NONE REQUIRED	N/A	NO
4	MINIMUM FRONT SETBACK	75 FEET/ 40 FEET (2)	40 FEET	NO
5	MINIMUM SIDE SETBACK	25 FEET/ 50 FEET (1)	51.5 FEET PROPOSED 24.85 FEET EXISTING	NO
6	MINIMUM REAR SETBACK	75 FEET/ 40.0 FEET (3)	66.96 FEET EX.	NO
7	MAXIMUM BUILDING HEIGHT	60 FEET	<60 FEET	NO
8	MAXIMUM BUILDING COVERAGE	35 PERCENT	12.0 PERCENT	NO

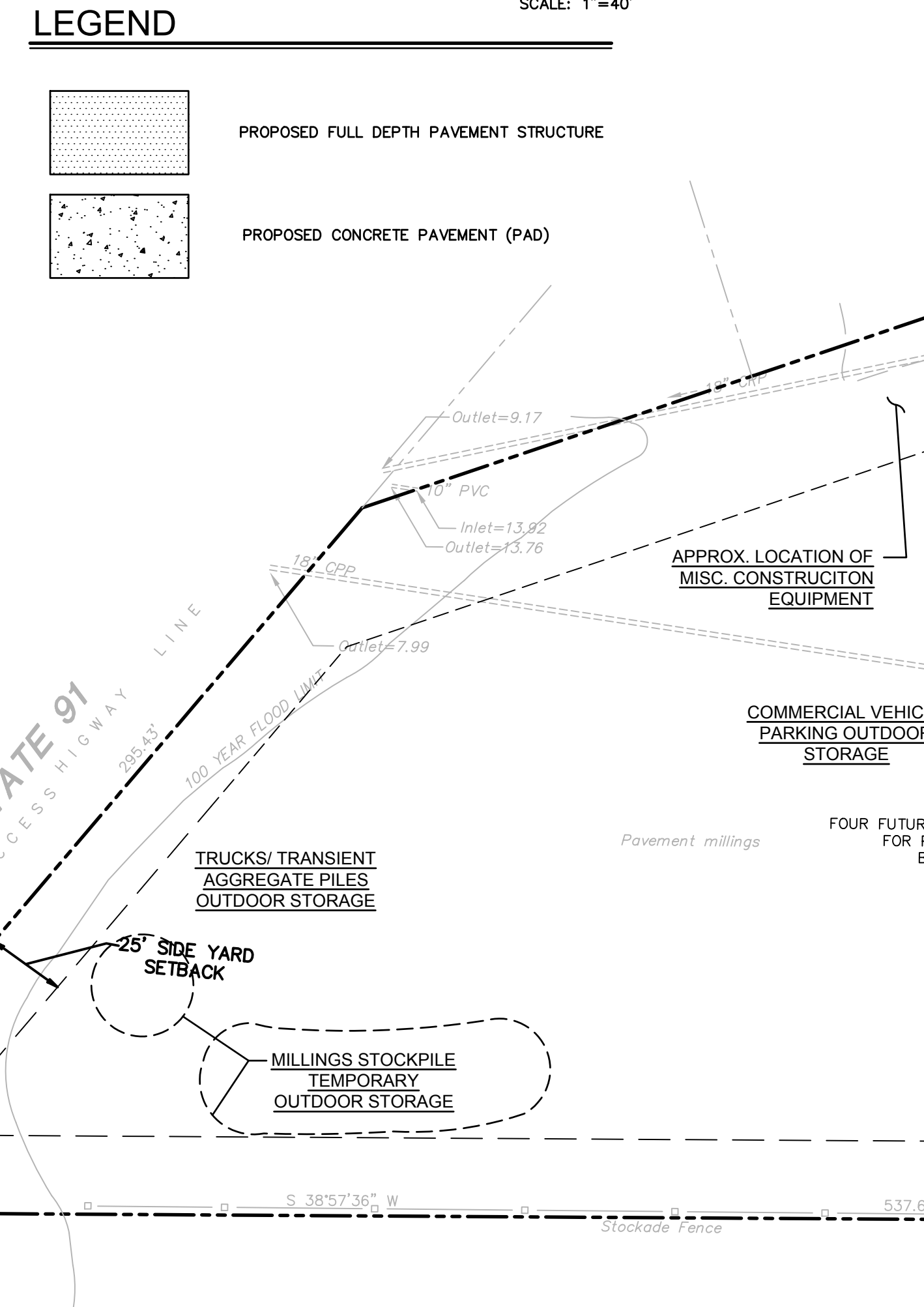
- WHEN ABUTTING A RESIDENTIAL ZONE A 30 FOOT BUFFER STRIP IS REQUIRED.
- A VARIANCE WAS APPROVED TO REDUCE FRONT SETBACK FROM 50 FT TO 40 FT.
- A VARIANCE WAS APPROVED FOR A 40.0 REAR SETBACK.

**PARKING INFORMATION**

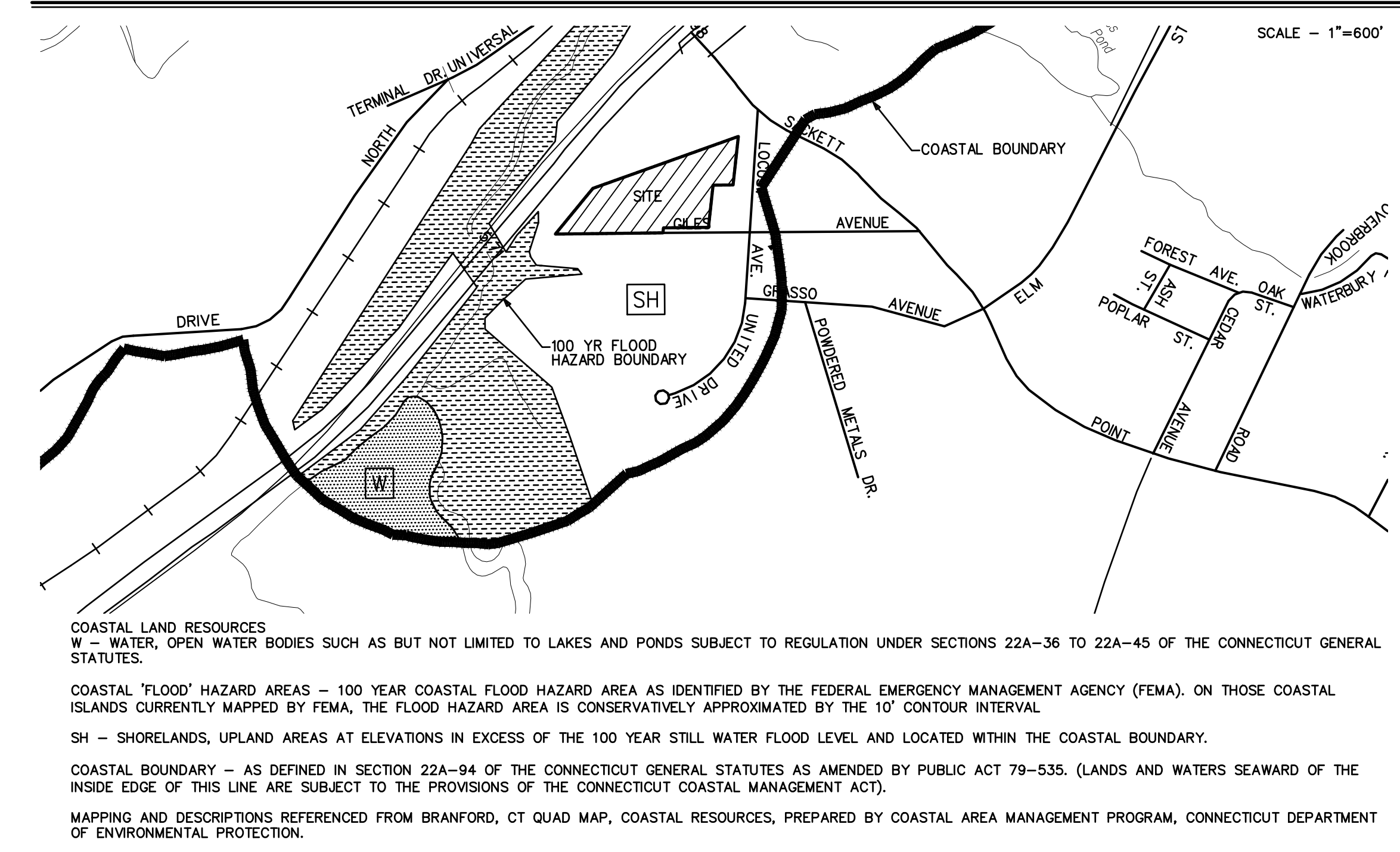
ITEM #	ITEM	REQUIREMENTS	PROPOSED
1	BUILDING SIZE	NONE REQUIRED	14,200 S.F. (EX.) 14,000 S.F. (PROPOSED) 28,200 S.F. TOTAL
2	PARKING REQUIRED BY TOWN (SECTION 8.5 IN TOWN REGULATIONS, ASSUMED USE: STORAGE WAREHOUSE AND TRUCKING GARAGE)	1 SPACE PER EVERY 2 PERSONS EMPLOYED AT ANY ONE TIME BUT NOT LESS THAN 1 PER 1,500 SF OF FLOOR AREA FOR STORAGE WAREHOUSE AND 1 PER 1,000 SF FOR TRUCKING GARAGE (14,200/1,500 + 14,000/1,000 = 23.47) SPACES REQUIRED = 24	20 SPACES IN PHASE 1 4 SPACES IN PHASE 2 24 SPACES TOTAL
3	MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18 FEET
4	MINIMUM AISLE WIDTH	24 FEET	24 FEET
5	MINIMUM FRONT SETBACK	15 FEET	40 FEET
6	MINIMUM SIDE SETBACK	0 FEET/ 30 FEET*	30 FEET
7	MINIMUM REAR SETBACK	0 FEET/ 30 FEET*	22.5 FEET

\* WHEN ABUTTING A RESIDENTIAL ZONE A 30 FOOT SIDE AND REAR SETBACK IS REQUIRED.

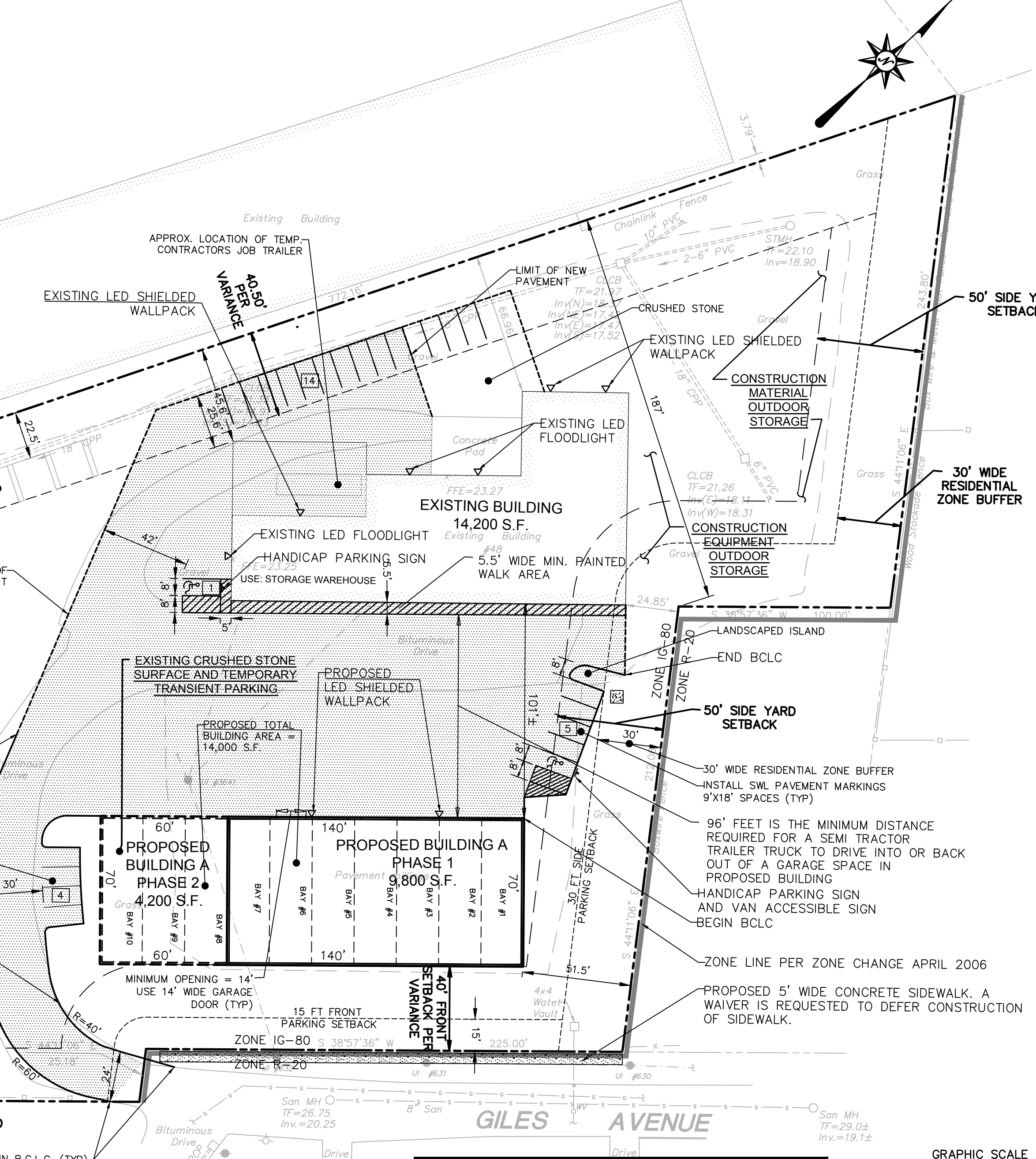
**WB-62 TRUCK TURNING PATH**



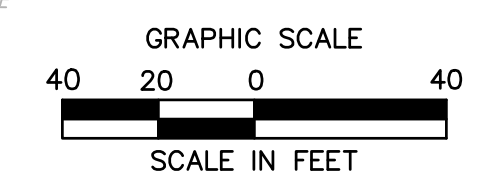
**COASTAL AREA RESOURCES MAP**



COASTAL LAND RESOURCES  
 W - WATER, OPEN WATER BODIES SUCH AS BUT NOT LIMITED TO LAKES AND PONDS SUBJECT TO REGULATION UNDER SECTIONS 22A-36 TO 22A-45 OF THE CONNECTICUT GENERAL STATUTES.  
 COASTAL 'FLOOD' HAZARD AREAS - 100 YEAR COASTAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). ON THOSE COASTAL ISLANDS CURRENTLY MAPPED BY FEMA, THE FLOOD HAZARD AREA IS CONSERVATIVELY APPROXIMATED BY THE 10' CONTOUR INTERVAL.  
 SH - SHORELANDS, UPLAND AREAS AT ELEVATIONS IN EXCESS OF THE 100 YEAR STILL WATER FLOOD LEVEL AND LOCATED WITHIN THE COASTAL BOUNDARY.  
 COASTAL BOUNDARY - AS DEFINED IN SECTION 22A-94 OF THE CONNECTICUT GENERAL STATUTES AS AMENDED BY PUBLIC ACT 79-535. (LANDS AND WATERS SEAWARD OF THE INSIDE EDGE OF THIS LINE ARE SUBJECT TO THE PROVISIONS OF THE CONNECTICUT COASTAL MANAGEMENT ACT).  
 MAPPING AND DESCRIPTIONS REFERENCED FROM BRANFORD, CT QUAD MAP, COASTAL RESOURCES, PREPARED BY COASTAL AREA MANAGEMENT PROGRAM, CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION.



**FOR PERMITTING PURPOSES ONLY  
 NOT RELEASED FOR CONSTRUCTION**



ARCHITECTURE  
 ENGINEERING  
 PLANNING  
 LANDSCAPE ARCHITECTURE  
 LAND SURVEYING  
 ENVIRONMENTAL SCIENCES

355 Research Parkway  
 Meriden, CT 06450  
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**PROPOSED BUILDING**  
 48 GILES AVENUE  
 NORTH HAVEN, CONNECTICUT

REVISIONS

No.	Date	Desc.
1.	11/09/21	RESPONSE TO TOWN COMMENTS

Designed: J.O.M.  
 Drawn: E.L.R.  
 Checked:  
 Approved:  
 Scale: 1"=40'  
 Project No.: 07C2352  
 Date: 10/07/2021  
 CAD File: SP07C235201

Title: **SITE PLAN**

Sheet No. **SP-1**

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# GRADING, DRAINAGE, AND UTILITIES NOTES

## GRADING GENERAL NOTES:

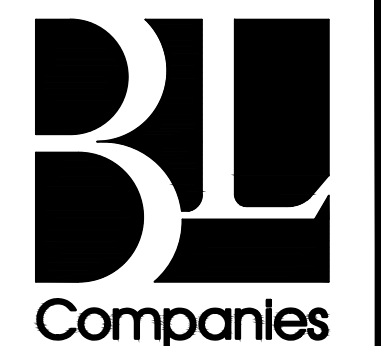
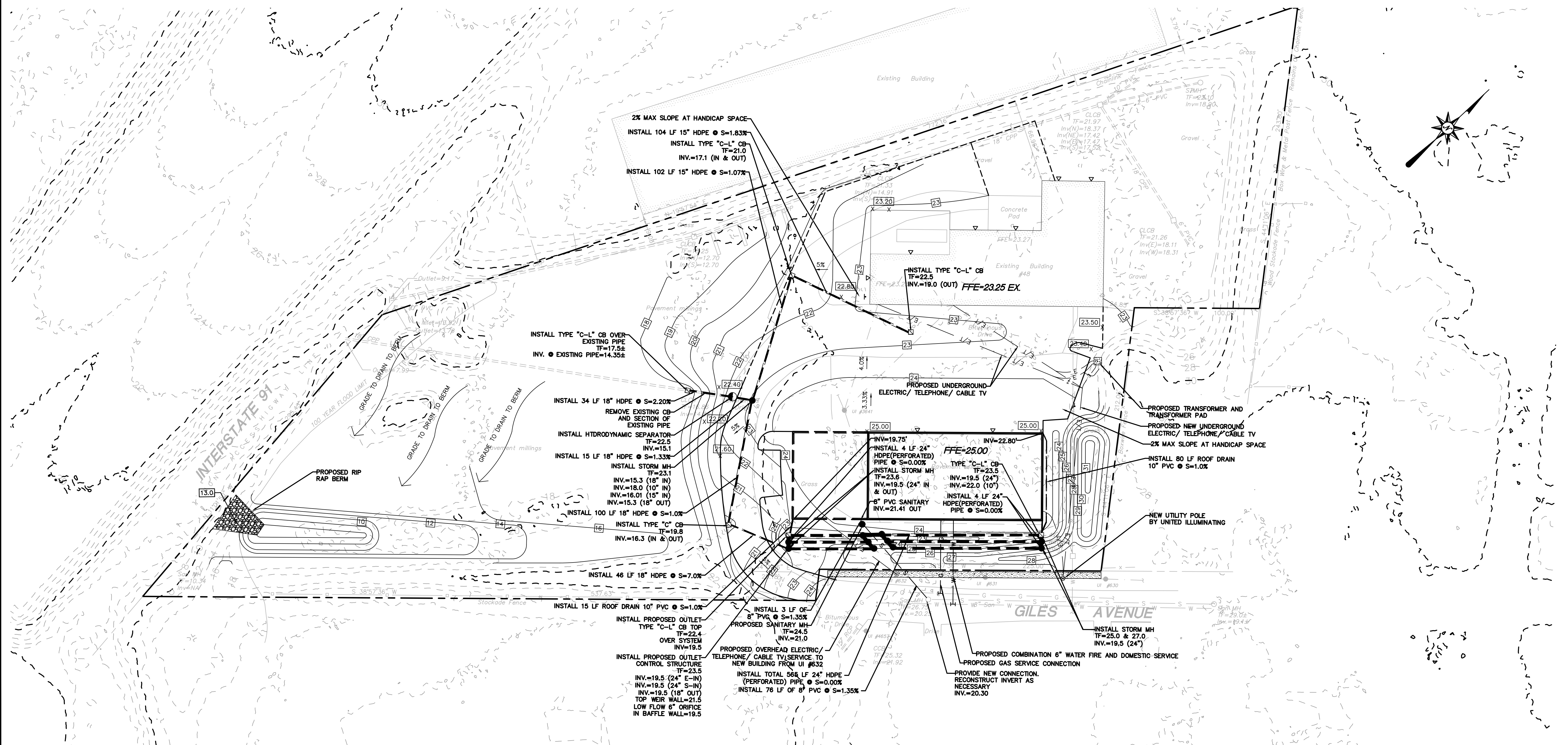
- SEE SITE PLAN FOR ADDITIONAL GENERAL NOTES.
- THIS DRAWING IS INTENDED TO DESCRIBE GRADING, DRAINAGE, AND UTILITIES ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- VERTICAL DATUM IS NGVD 29. HORIZONTAL DATUM IS NAD 27
- THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- THERE WILL BE NO FLOOR DRAINS INSTALLED IN THE PROPOSED BUILDING.

## PRODUCT NOTES:

- SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.
- POLY VINYL CHLORIDE PIPE (PVC) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
- MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-Q SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPIGOT JOINT MEETING THE REQUIREMENTS OF AASHTO M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATER-TIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE HI-Q PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 252, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH COUPLING BANDS OR EXTERNAL SNAP COUPLERS COVERING AT LEAST 2 FULL CORRUGATIONS ON EACH END OF THE PIPE. SILT-TIGHT (GASKET) CONNECTIONS SHALL INCORPORATE A CLOSED SYNTHETIC EXPANDED RUBBER GASKET, MEETING THE REQUIREMENTS OF AASHTO D1056 GRADE 2A2. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
- COPPER PIPE SHALL BE TYPE K TUBING WITH COMPRESSION FITTINGS.
- GAS PIPE MATERIAL SHALL BE PER GAS COMPANY REQUIREMENTS.
- DUCTILE IRON PIPE SHALL CONFORM TO AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A21.4 FOR WATERMANS AND SERVICES 3" ID AND LARGER. JOINTS SHALL BE MADE WITH CONCRETE THRUST BLOCKS OR WITH METALLIC RETAINER GLANDS OR WITH ROODING IN ACCORDANCE WITH PROJECT MANUAL SPECIFICATIONS AND IN ACCORDANCE WITH WATER UTILITY PROVIDER REQUIREMENTS TO EXTEND A MINIMUM OF 2 PIPE LENGTHS IN EITHER DIRECTION FROM FITTINGS AND ELBOWS (40 FT MINIMUM). ALL OTHER JOINTS SHALL BE PUSH ON WITH RUBBER GASKETS (TYTON). USE OF OTHER TYPES OF RETAINER GLANDS SHALL REQUIRE USE WITH CLASS 53 OR GREATER DUCTILE IRON PIPE. DUCTILE IRON STORM PIPE SHALL BE PUSH ON JOINT WITH RUBBER GASKET.

# SITE UTILITY LEGEND

ELEC/TELE/CATV LINE	— ETC — ETC —
GAS LINE	— G — G —
OVERHEAD LINE	— OH — OH —
WATER LINE	— W — W —
SANITARY SEWER LINE	— S —
SANITARY FORCE MAIN	— SFM —
STORM LINE	—
CATCH BASIN	☐
STORM MANHOLE	○
SANITARY MANHOLE	●
ELECTRIC MANHOLE	⊙
HYDRANT	⊕
TRANSFORMER	⊞
UTILITY POLE	⊙



**BL Companies**  
 ARCHITECTURE  
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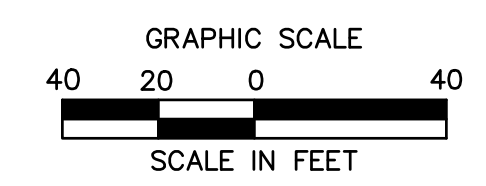
**PROPOSED BUILDING**  
 48 GILES AVENUE  
 NORTH HAVEN, CONNECTICUT

No.	Date	Desc.
1.	11/06/21	RESPONSE TO TOWN COMMENTS
2.	12/02/21	RESPONSE TO TOWN COMMENTS

Designed: J.O.M.  
 Drawn: E.L.R.  
 Checked:  
 Approved:  
 Scale: 1"=40'  
 Project No.: 07C2352  
 Date: 10/07/2021  
 CAD File: GU07C235201

Title: GRADING, DRAINAGE AND UTILITY PLAN  
 Sheet No. GU-1

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**NOT RELEASED FOR CONSTRUCTION**



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SITE PLAN APPLICATION #P21-29 AND CAM APPLICATION #P21-29A  
 XREF (S): : Y07C235201 : B007C235201 : X07C235201 : X07C235201-LIDAR  
 X07C235201 : X07C235202 : X06C182101 : X07C235201-LIDAR



### LANDSCAPE KEY

- PROPOSED DECIDUOUS OVERSTORY/STREET TREE
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS UNDERSTORY/ORNAMENTAL TREE
- PROPOSED LAWN SEED MIX
- PROPOSED LOW MAINTENANCE SEED MIX
- PROPOSED PAVEMENT MILLINGS FOR SLOPE STABILIZATION

### LANDSCAPE PLANT SCHEDULE

TREES	KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
	BN	5	Betula nigra 'Heritage'	HERITAGE RIVER BIRCH	B&B	8'-10' HT.	MULTI-STEM
	GT	4	Gleditsia triacanthos var. inermis 'Halka'	HALKA HONEYLOCUST	B&B	2"-2 1/2" CAL.	UNIFORM, WELL DEV. 7' MIN. BRANCH HT.
	PP	3	Picea pungens glauca	COLORADO BLUE SPRUCE	B&B	8'-10' HT.	UNIFORM, WELL DEV.
	PS	28	Pinus strobus	EASTERN WHITE PINE	B&B	8'-10' HT.	UNIFORM, WELL DEV.

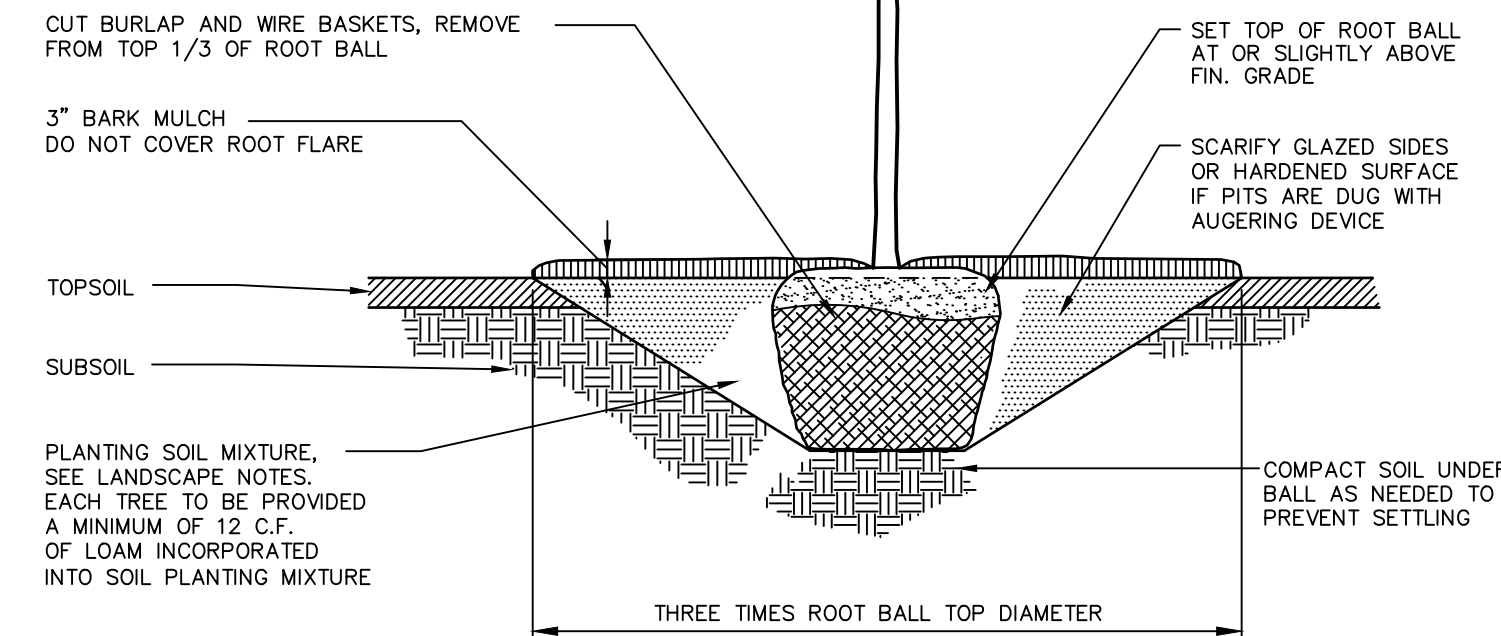
### LANDSCAPE NOTES

- THE LANDSCAPE PLAN IS FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE LAYOUT PLAN, LIGHTING PLAN, GRADING PLAN AND UTILITIES PLAN FOR ALL OTHER INFORMATION.
- PLANTING LOCATIONS ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. CONTRACTOR SHALL LAY OUT THE WORK FOR THE REVIEW, ADJUSTMENT, AND APPROVAL OF OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- UTILITY LOCATIONS SHOWN IN THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED.
- TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4". CONTRACTOR SHALL SUBMIT SAMPLES FROM EACH PROPOSED TOPSOIL SOURCE TO A CERTIFIED TESTING LABORATORY TO DETERMINE pH, FERTILITY, ORGANIC CONTENT AND MECHANICAL COMPOSITION. CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO OWNER OR LANDSCAPE ARCHITECT FOR REVIEW. CONTRACTOR SHALL INCORPORATE AMENDMENTS FOR PROPER SOIL pH AND PLANT GROWTH AS RECOMMENDED BY TEST REPORTS AT NO INCREASE IN CONTRACT PRICE.
- THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. WHEN QUANTITIES LISTED IN THE PLANT SCHEDULE DIFFER FROM THOSE REQUIRED BY THE DRAWINGS, THE LARGER QUANTITY SHALL BE USED.
- LANDSCAPE PLANTING PITS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SOIL, AND BLASTED ROCK SHALL BE REMOVED FROM PLANTING PITS AND LANDSCAPE ISLANDS TO A DEPTH OF 2' OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. REPLACE SOIL WITHIN ISLANDS WITH LOAM OR SANDY LOAM FREE OF STONES AND DEBRIS 1" OR GREATER IN DIAMETER AND ALL OTHER MATERIAL HARMFUL TO PLANT DEVELOPMENT.
- PLANTING SOIL MIXTURE FOR ALL PLANTINGS SHALL CONSIST OF: 1 PART PEAT MOSS OR COMPOST, 3 PARTS TOPSOIL, "TRANSPLANT 1-STEP" FERTILIZER / BIOSTIMULANT / MYCORRHIZA INOCULATE AS MANUFACTURED BY ROOTS, INC. OR AN APPROVED EQUIVALENT, AND LIME AND OTHER AMENDMENTS AS INDICATED BY SOIL ANALYSIS.
- PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENTS SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED. THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 2 1/2" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.
- ALL MULCH BEDS SHALL BE MULCHED TO A DEPTH OF 3". USE UNCOLORED, SHREDDED BARK MULCH AGED AT LEAST SIX MONTHS FOR ALL BEDS.
- GUARANTEE: GUARANTEE ALL PLANTS AND LAWNS FOR A MINIMUM OF 1 YEAR TO BE ALIVE AND IN VIGOROUS GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE GUARANTEE PERIOD FOR ALL PLANTS SHALL BEGIN UPON APPROVAL AS SPECIFIED UNDER SEMI-FINAL ACCEPTANCE. PLANT MATERIALS AND LAWNS APPROVED IN THE SPRING SHALL BE ALIVE AND IN SATISFACTORY GROWTH ON JUNE 1 OF THE FOLLOWING YEAR; PLANTING DONE IN LATE FALL (AFTER NOVEMBER 1ST) SHALL BE MAINTAINED AND GUARANTEED UNTIL THE SECOND SPRING'S LEAFING. REPLACEMENTS: ALL PLANTS SHALL BE FREE OF DEAD OR DYING BRANCHES AND BRANCH TIPS, AND SHALL BEAR FOLIAGE OF A NORMAL DENSITY, SIZE AND COLOR. PROMPTLY REMOVE DEAD, UNSIGHTLY, UNEALTHY, OR EXCESSIVELY PRUNED PLANTS. THESE AND ANY PLANTS MISSING DUE TO THE CONTRACTOR'S NEGLIGENCE, SHALL BE REPLACED OR ADDED WITH THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED AS SOON AS CONDITIONS PERMIT. METHOD OF REPLACEMENT SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING WITH REPLACEMENTS MATCHING ADJACENT SPECIMENS OF THE SAME SPECIES. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS AND THEY SHALL BE MAINTAINED AND GUARANTEED. REPLACEMENTS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE AND SHALL BE GUARANTEED FOR ONE FULL YEAR FROM TIME OF REPLACEMENT.
- ALL SLOPES STEEPER THAN 3:1 RECEIVING A GRASS SEEDING MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.
- ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDDED WITH THE LAWN SEEDING MIXTURE.
- IF SHEET IS LESS THAN 24" X 36" IT IS A REDUCED PRINT AND SHOULD BE SCALED ACCORDINGLY.

### SEEDING MIXTURES

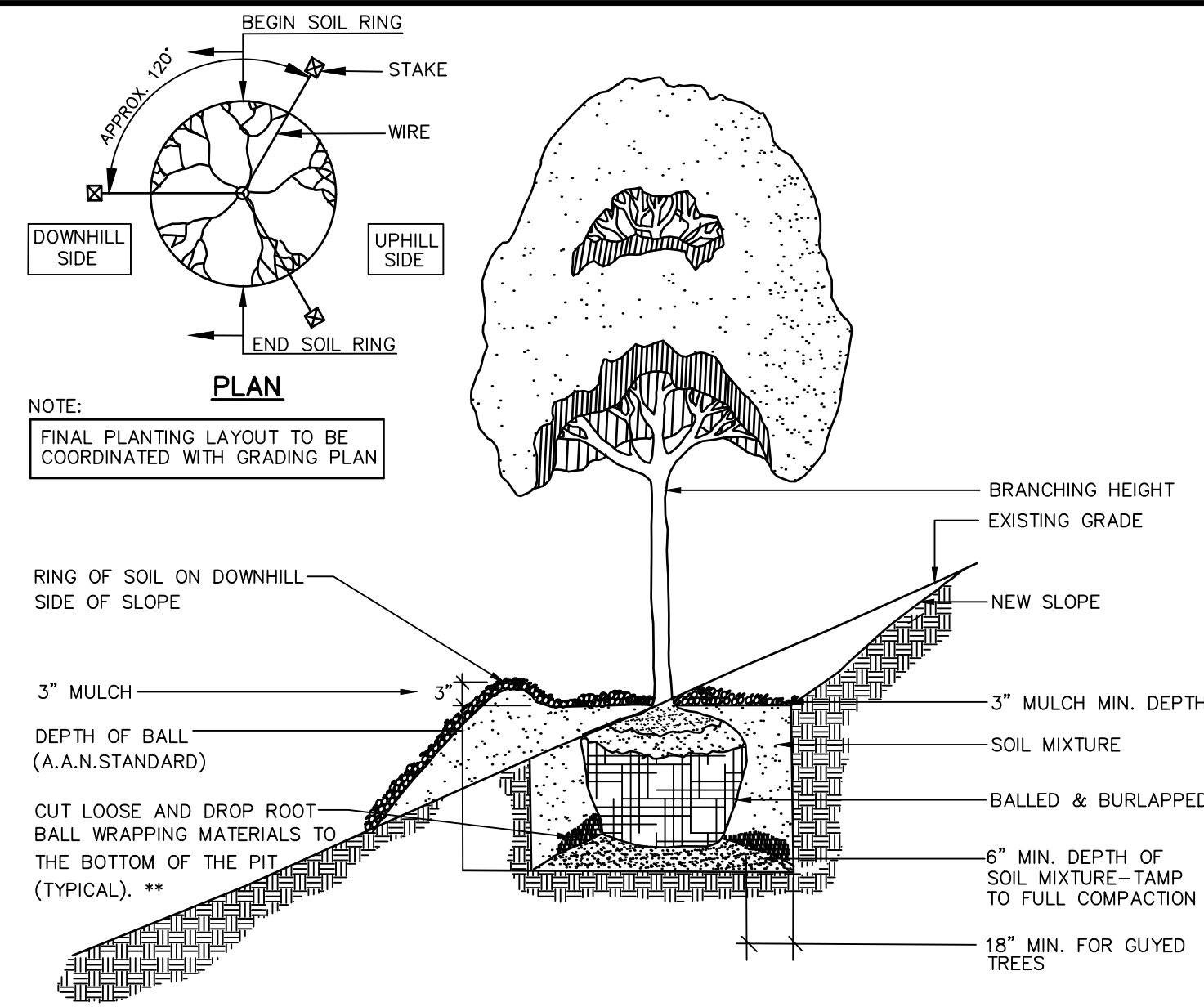
- A. LOW MAINTENANCE SEED MIX**  
APPLICATION RATE: 25 LBS/ ACRE (1 LB PER 1,750 SF)  
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- SPECIES:**  
BIG BLUESTEM (ANDROPOGON GERARDII)  
COMMON MILKWEED (ASCLEPIAS SYRIACA)  
NEW ENGLAND ASTER (ASTER NOVAE-ANGIAE)  
PARTRIDGE PEA (CHAMAECRISTA FASCICULATA (CASSIA F.))  
SHOWY TICK TREFOL (DESMODIUM CANADENSE)  
VIRGINIA WILD RYE (ELYMUS VIRGINICUS)  
SPOTTED TOP RYE WEEED (EUPATORIUM MACULATUM)  
GRASS LEAVED GOLDENROD (EUTHAMIA GRAMINIFOLIA (SOLIDAGO G.))  
CREEPING RED FESCUE (FESTUCA RUBRA)  
OX EYE SUNFLOWER (HELIOPSIS HELIANTHOIDES)  
DEER TONGUE (Panicum clandestinum)  
SWITCH GRASS (Panicum virgatum)  
TALL/GREEN HEADED CONEFLOWER (RUDBECKIA LACINIATA)  
LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM)  
EARLY GOLDENROD (SOLIDAGO JUNCEA)  
INDIAN GRASS (SORGHASTRUM NUTANS)
- B. LAWN SEEDING MIXTURE:**  
15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)  
25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)  
60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)  
SEEDING RATE: 5 LBS/1,000 SF.  
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUN

NOTE: PRUNE ONLY BROKEN AND DAMAGED LIMBS



### TREE PLANTING

N.T.S. BLLD-009



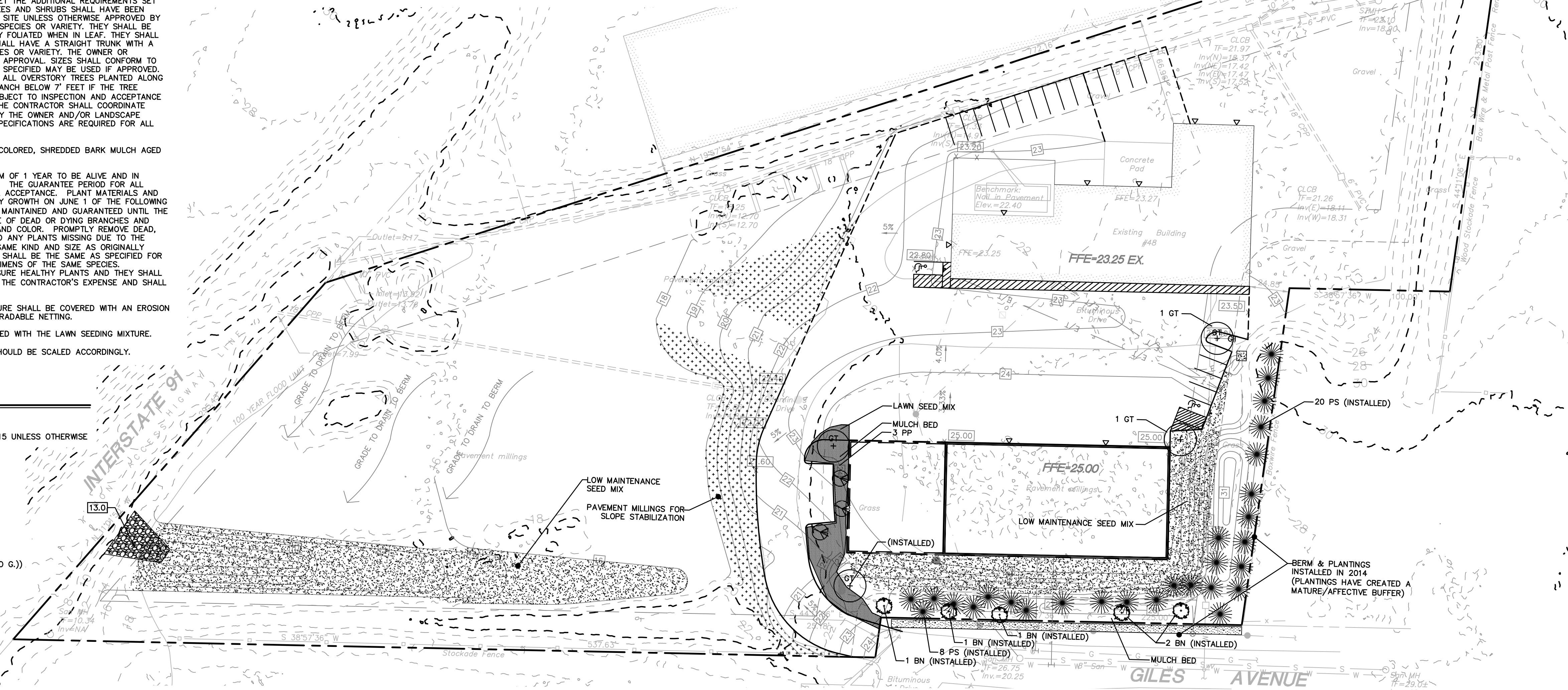
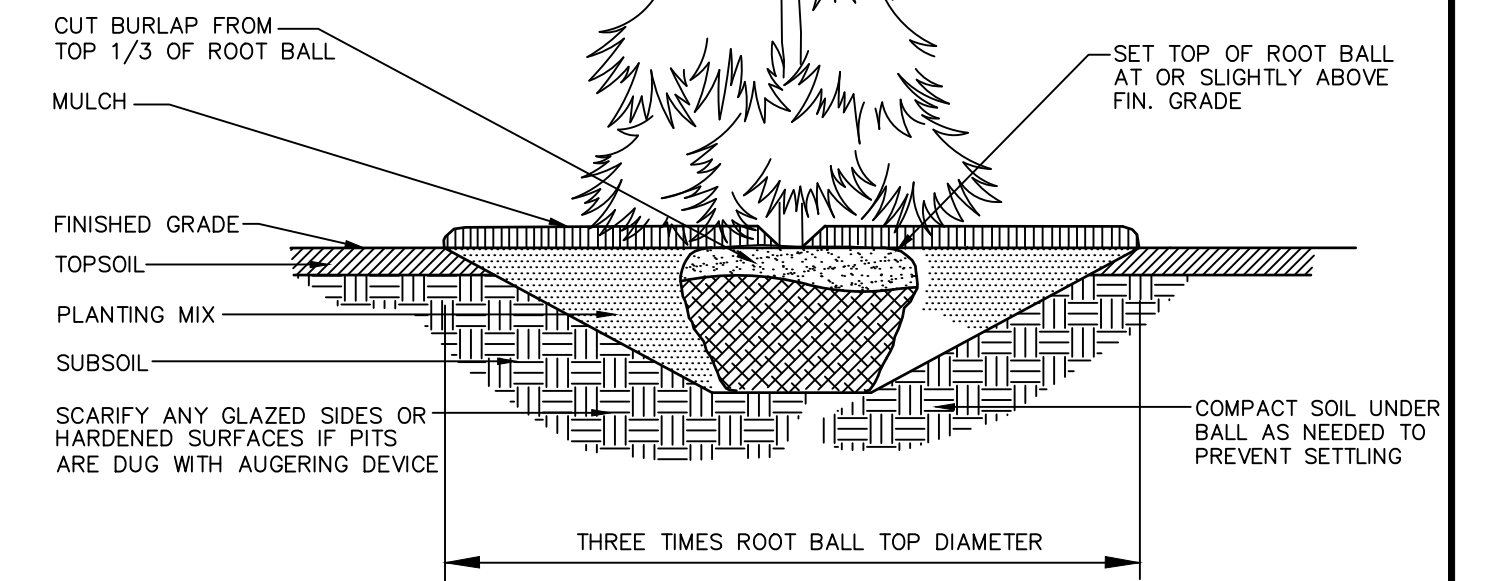
- NOTES:
- ALL DECIDUOUS TREES OVER 4FT. IN HEIGHT AND ALL EVERGREEN TREES OVER 3FT. IN HEIGHT SHALL BE STAKED OR GUYED AS SHOWN.
  - MULTIPLE STEMMED DECIDUOUS TREES OVER 4FT. IN HEIGHT SHALL BE STABILIZED 2 MAINSTEMS.
  - THE WOOD STAKES SHALL BE CONSTRUCTION GRADE, ROUGH OR DRESSED, OF SOUND WOOD, DECAY RESISTANT, AND OF THE SIZE INDICATED IN THE DETAILS.
  - THE WIRE TIES SHALL BE 12 OR 14 GAUGE GALVANIZED WIRE, AND BE PROVIDED WITH A ONE FOOT PIECE OF RUBBER HOSE PLACED TO PREVENT INJURY TO THE BARK.
  - TREE WRAPPING SHALL BE PLACED AROUND ALL TRUNKS OF DECIDUOUS TREES TWO OR MORE INCHES IN CALIPER. TREE WRAPPING SHALL EXTEND FROM GROUND LINE 2" ABOVE THE FIRST BRANCH. EACH TURN OF WRAPPING MATERIAL SHALL OVERLAP 1/2 THE WIDTH OF THE PREVIOUS TURN. BIND WITH JUTE TWINE AT TOP, MIDDLE, AND BOTTOM. TREE WRAPPING AND TWINE SHALL CONFORM TO:
    - PIT DRAINAGE MODIFICATION FOR SLOPE PLANTING (WHEN REQUIRED).
  - PRIOR TO PLANTING ON A SLOPE THE CONTRACTOR SHALL TEST NO MORE THAN 3 PITS FOR PERCOLATION. PERCOLATION TEST SHALL CONSIST OF FILLING THE PIT WITH APPROXIMATELY 6" OF WATER. THE ENGINEER SHALL DETERMINE THE RATE OF PERCOLATION AND DETERMINE IF PIT DRAINAGE IS REQUIRED.

### TREE SLOPE PLANTING

N.T.S.

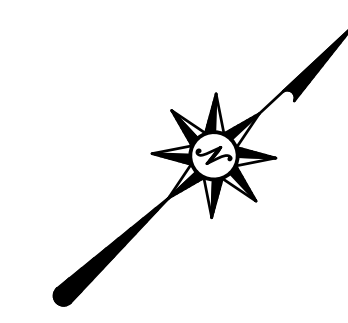
### EVERGREEN TREE PLANTING WITHOUT GUY WIRES

N.T.S. BLD-010



SITE PLAN APPLICATION #P21-29 AND CAM APPLICATION #P21-29A



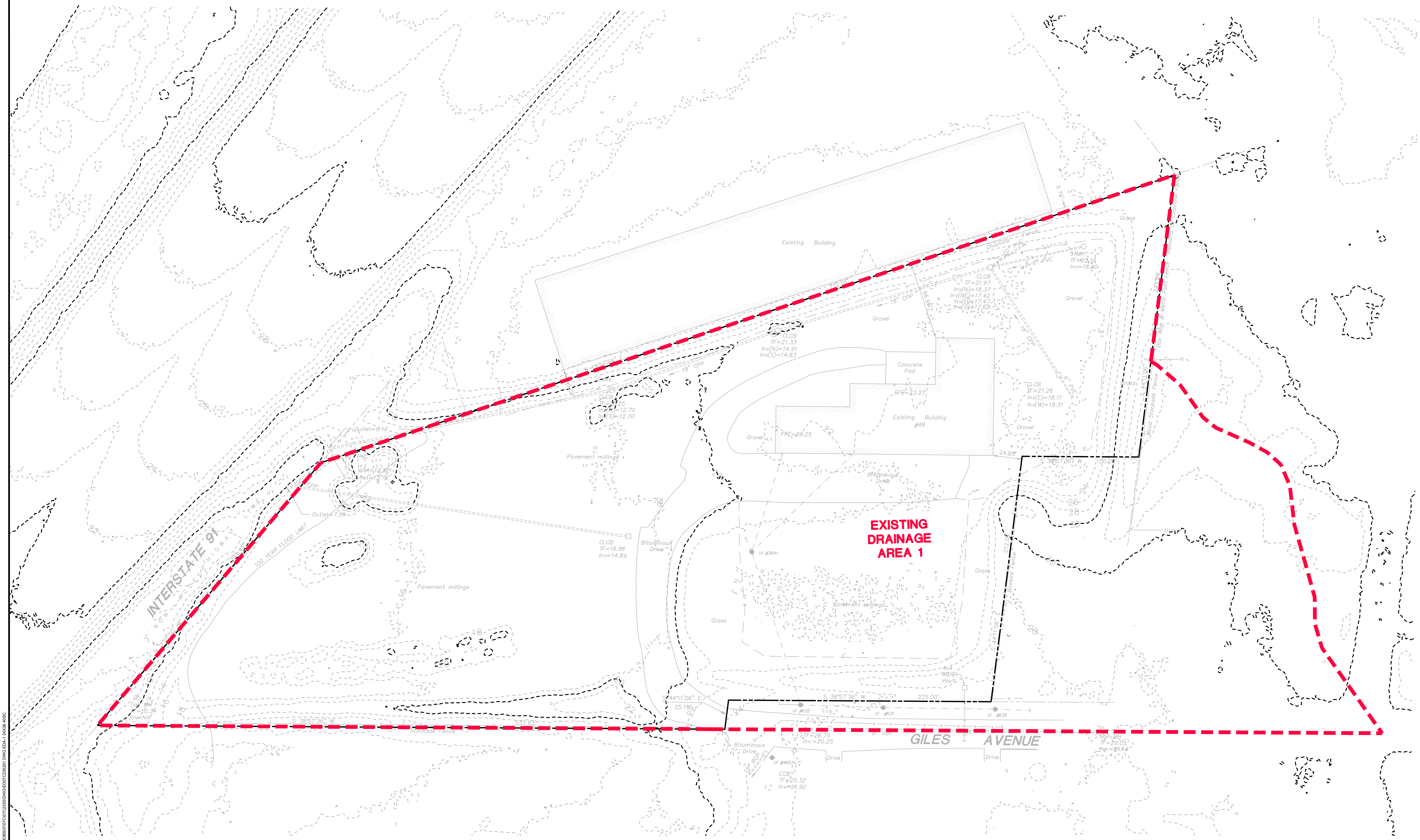


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**PROPOSED BUILDING**  
48 GILES AVENUE  
NORTH HAVEN, CONNECTICUT



SITE PLAN APPLICATION #P21-29 AND CAM APPLICATION #P21-29A

REVISIONS	
No.	Date

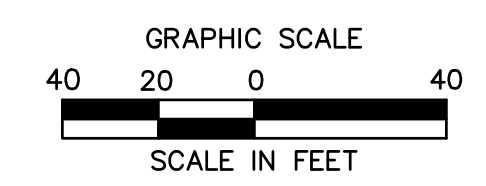
Designed: J.O.M.  
Drawn: E.L.R.  
Checked:       
Approved:       
Scale: 1"=40'  
Project No.: 07C2352  
Date: 10/07/2021  
CAD File: ED07C235201

Title: EXISTING DRAINAGE AREA PLAN

Sheet No.:

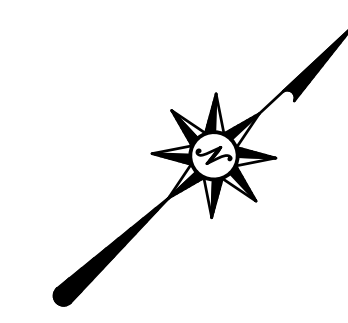
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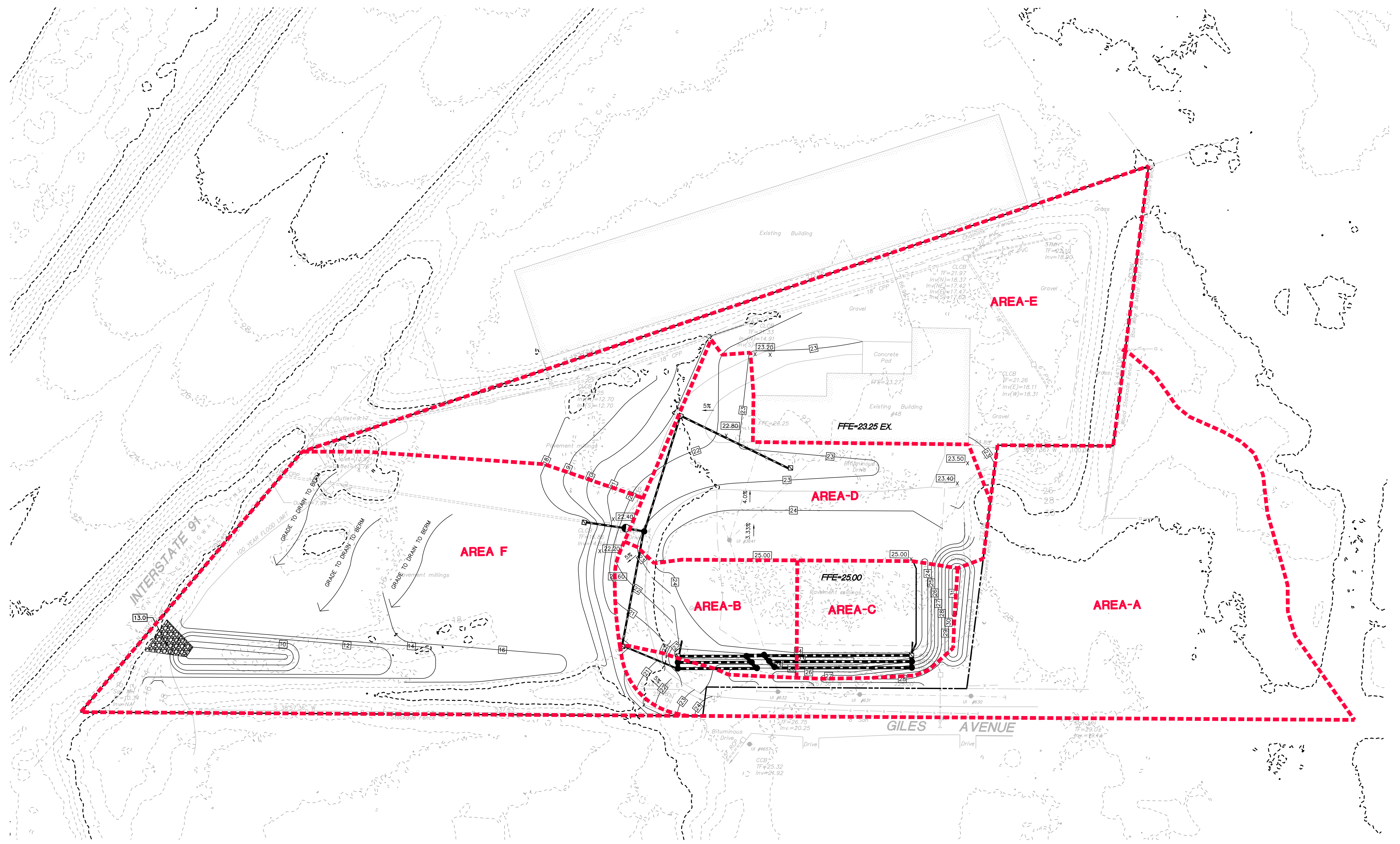


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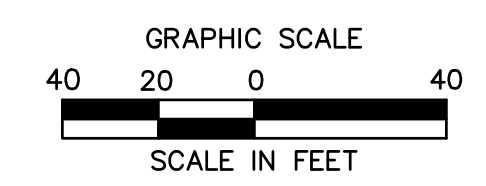
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**PDA-1**

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